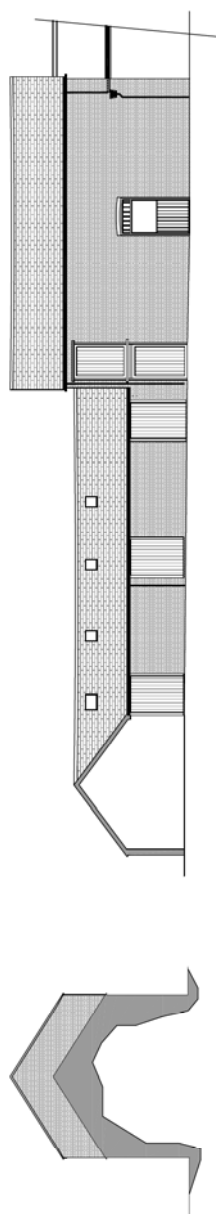


MANOR FARM, WORMINGTON, WORCS

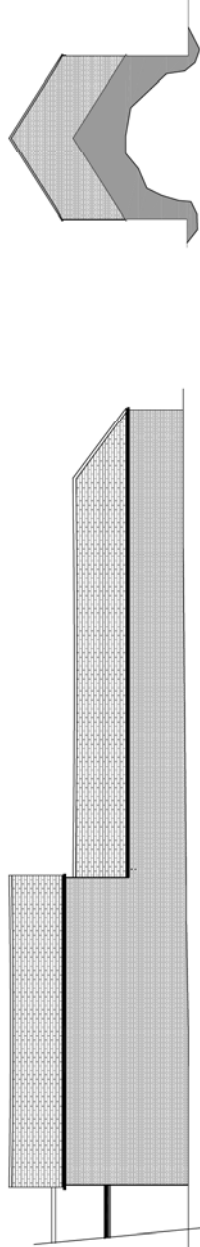
EXISTING DETAILS

ELEVATIONS & SITE DETAILS



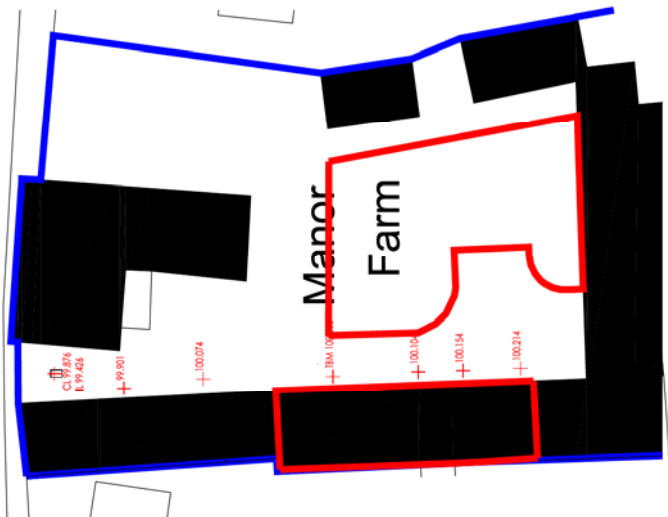
NORTH ELEVATION
SCALE 1:100

EAST ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100

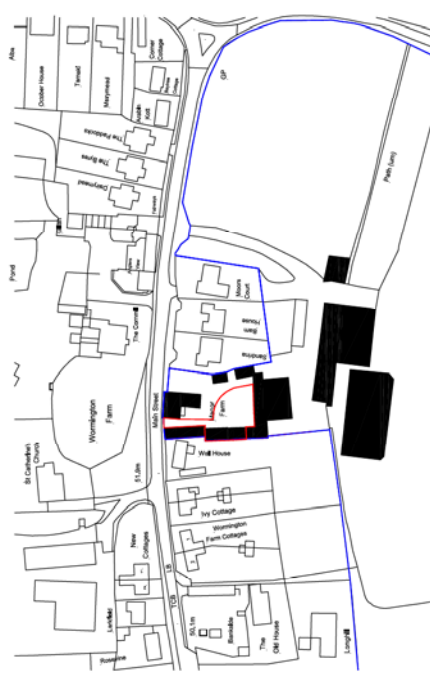
SOUTH ELEVATION
SCALE 1:100



SITE PLAN
SCALE 1:200



BLOCK PLAN
SCALE 1:500



LOCATION PLAN
SCALE 1:1250

| | | |
|--|-----------------------------|------------|
| C | Plans issued for submission | 01.07.2021 |
| B | Location Plan revised | 16.04.2019 |
| A | Block Plan revised | 08.04.2019 |
| D | Final Issue | 03.12.2019 |
| REVISION NOTES | | DATE |
| DRAWN BY: A. Russell and Son | | |
| PROJECT: Manor Farm, Worthington, Worcestershire, WR12 7NL | | |
| DRAWING NO: M.F.W.SUJ.02 | | |
| DATE | IP | UP |
| Dec 2019 | Dec 2019 | Dec 2019 |
| AS STATED | AS STATED | AS STATED |
| DRAWING NO: M.F.W.SUJ.02 | | SCALE: C |

DRAWING NOTES

ALL DIMENSIONS TO BE CHECKED ON SITE AND NOT SCALED FROM THIS DRAWING

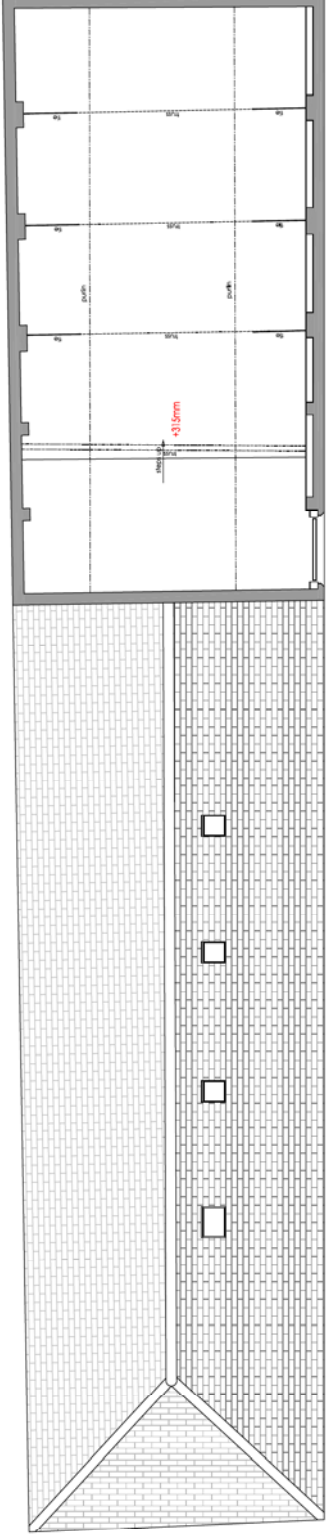
ANY SIZE, POSITION OR ORIENTATION OF STRUCTURAL ELEMENTS SHOWN ON THIS DRAWING IS FOR INFORMATION PURPOSES ONLY. IT DOES NOT REPRESENT ANY SPECIFICATION OR DESIGN, UNLESS OTHERWISE STATED

CONSTRUCTION SERVICES
 DRAWING NO: M.F.W.SUJ.02
 PROJECT: MANOR FARM, WORTHINGTON, WORCESTERSHIRE, WR12 7NL
 DRAWN BY: A. RUSSELL AND SON
 * 44 (0) 7819 20065 EMAIL: INFO@MFCSTRUCT.CO.UK

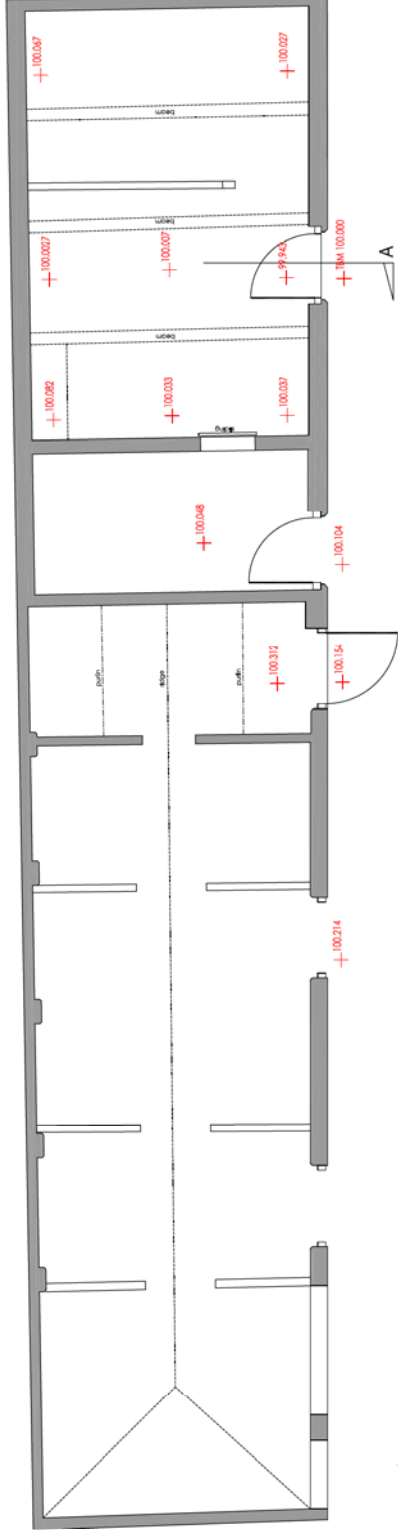
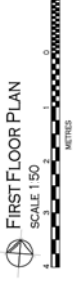
MANOR FARM, WORMINGTON, WORCS

EXISTING DETAILS

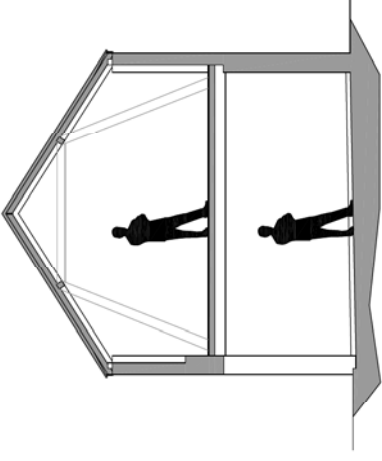
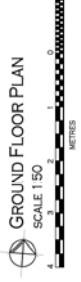
FLOOR PLANS AND SECTIONS



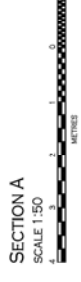
FIRST FLOOR PLAN
SCALE 1:50



GROUND FLOOR PLAN
SCALE 1:50



SECTION A
SCALE 1:50



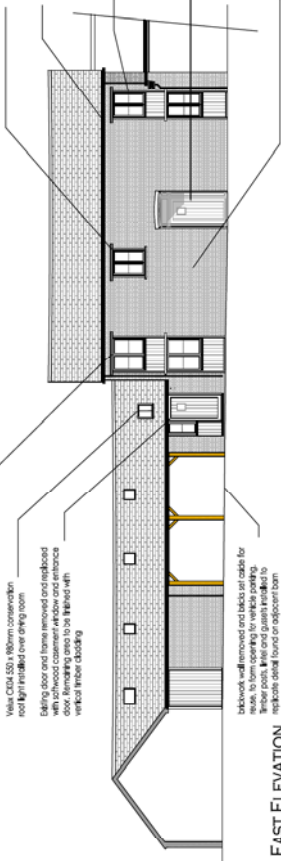
DRAWING NOTES
ALL DIMENSIONS TO BE CHECKED ON SITE AND NOT SCALED FROM THE DRAWING.
ANY DISCREPANCIES OR AMBIGUITIES IN THE DRAWING ARE FOR CLARIFICATION ONLY. THE DRAWING IS FOR INFORMATION ONLY. IT DOES NOT REPRESENT ANY SPECIFICATION OR DESIGN UNLESS OTHERWISE STATED.

| | | | |
|--|-------------|--------------------|----------|
| 0 | FIRST ISSUE | 05.12.2013 | DATE |
| | REVISION | NOTES | |
| DRAWN BY: A. Russell and Son | | | |
| PROJECT: Manor Farm Wormington Worcestershire WR12 7NL | | | |
| DRAWING: Existing Details - Floor Plans and Sections | | | |
| CONSTRUCTION SERVICES 1 MANOR FARM 20A, WORMINGTON WORCESTERSHIRE, WR12 7NL 01905 787878 01905 787878 EMAIL: INFO@DPCONTRACT.CO.UK | | | |
| DATE OF LIP | Dec 2019 | DATE OF UP | Dec 2019 |
| DATE AS SHARED | Dec 2019 | DATE OF MF.W.SU.01 | Dec 2019 |
| | - A1 | | 0 |

MANOR FARM, WORMINGTON, WORCS

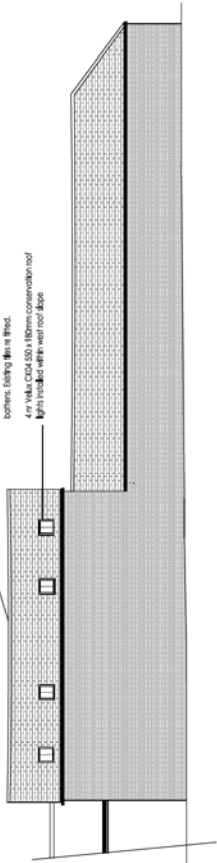
PROPOSED CONVERSION ELEVATIONS & SITE DETAILS

Existing doors and frame removed from existing opening and replaced with softwood casement windows on each level. Remaining area to be finished with vertical timber cladding.
 Vitr. C100, 500 x 160mm conservation roof light installed over dining room.
 Existing door and frame removed and replaced with softwood casement window and entrance porch with vertical timber cladding.



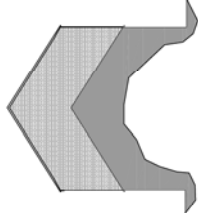
EAST ELEVATION
SCALE 1:100

Existing roof tiles and battens removed. Tiles set aside for reuse. Breathable membrane installed over existing roof. New roofed roof.
 4m high, C100, 160mm conservation roof light installed with vent roof flap.



WEST ELEVATION
SCALE 1:100

Existing roof tiles and battens removed. Tiles set aside for reuse. Breathable membrane installed over existing roof. New roofed roof.
 4m high, C100, 160mm conservation roof light installed with vent roof flap.



SOUTH ELEVATION
SCALE 1:100

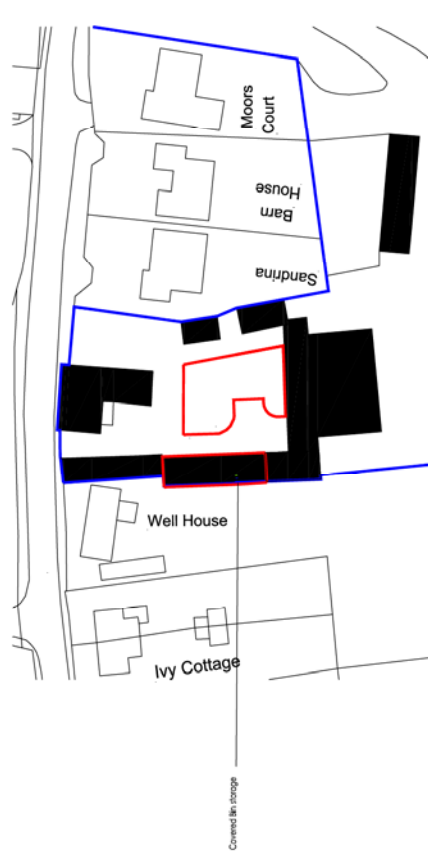
Private amenity space bounded by the previous wall. On the line of the previous wall.

Private amenity space associated with the existing 72mm double glazed window.

Area floor to be removed and replaced with new floor. Area floor to be removed and replaced with new floor. Area floor to be removed and replaced with new floor.

Storage area covered parking area. Tarmac, for use by both properties. Covered parking area for new dwelling.

Existing covered parking - to be retained by Manor Farm (subject to planning).



BLOCK PLAN
SCALE 1:500

SITE PLAN
SCALE 1:200

| REV | DATE | DESCRIPTION |
|--|------------|--|
| F | 10.02.2021 | Bin details added |
| E | 30.12.2020 | Amended for submission |
| D | 31.07.2020 | Minor amendments |
| C | 31.07.2020 | Boundaries revised |
| B | 10.07.2020 | Labelling correct for Planning Officer |
| A | 04.05.2020 | Initial design added |
| 0 | 04.05.2020 | First issue |
| REVISION NOTES | | |
| DRAWN BY: A. Russell and Son | | |
| PROJECT: Manor Farm, Worthington, Worcestershire, WR12 7NL | | |

DRAWING NOTES

ALL DIMENSIONS TO BE CHECKED ON SITE AND NOT SCALED FROM THIS DRAWING

ANY EXISTING STRUCTURES OR SERVICES OF STRUCTURAL ELEMENTS SHOWN ON THIS DRAWING ARE FOR INFORMATION ONLY. THE DRAWING DOES NOT REPRESENT ANY SPECIFICATION OR DESIGN UNLESS OTHERWISE STATED

DP CONSTRUCTION SERVICES
 144 ED 3789 300005 EMAIL: INFO@CONSTRUCT.CO.UK

Proposed Details - Elevations and Site Details

| | | | |
|------------|-----|--------------------|------------|
| DATE | REV | BY | DATE |
| 10/02/2021 | 1 | A. Russell and Son | 10/02/2021 |
| 30/12/2020 | 2 | A. Russell and Son | 30/12/2020 |
| 31/07/2020 | 3 | A. Russell and Son | 31/07/2020 |
| 10/07/2020 | 4 | A. Russell and Son | 10/07/2020 |
| 04/05/2020 | 5 | A. Russell and Son | 04/05/2020 |
| 04/05/2020 | 6 | A. Russell and Son | 04/05/2020 |

AS STATED BY: M.F.W.P.R.02

MANOR FARM, WORMINGTON, WORCS

PROPOSED CONVERSION

FLOOR PLANS AND SECTIONS

proposed staircase - 11 steps of 200, 10mm 228 10mm
 clear distance nosing and concrete 42 x
 75mm side sills. Ceiling GA600 (60mm thick)
 between studs flush to top of studs and
 between studs 12.2mm
 Gypsum wall board and plaster skim

New 10mm OSBMA c/ under and over steel plate
 floor joists of south end of building to be rebolted
 by 35mm, to match remaining first floor level

10mm mineral wool insulation (min 100mm) between
 partition and 90mm to underside
 New 10mm OSBMA c/ under and over steel plate
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete

4 x 10mm OSBMA c/ under and over steel plate
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete

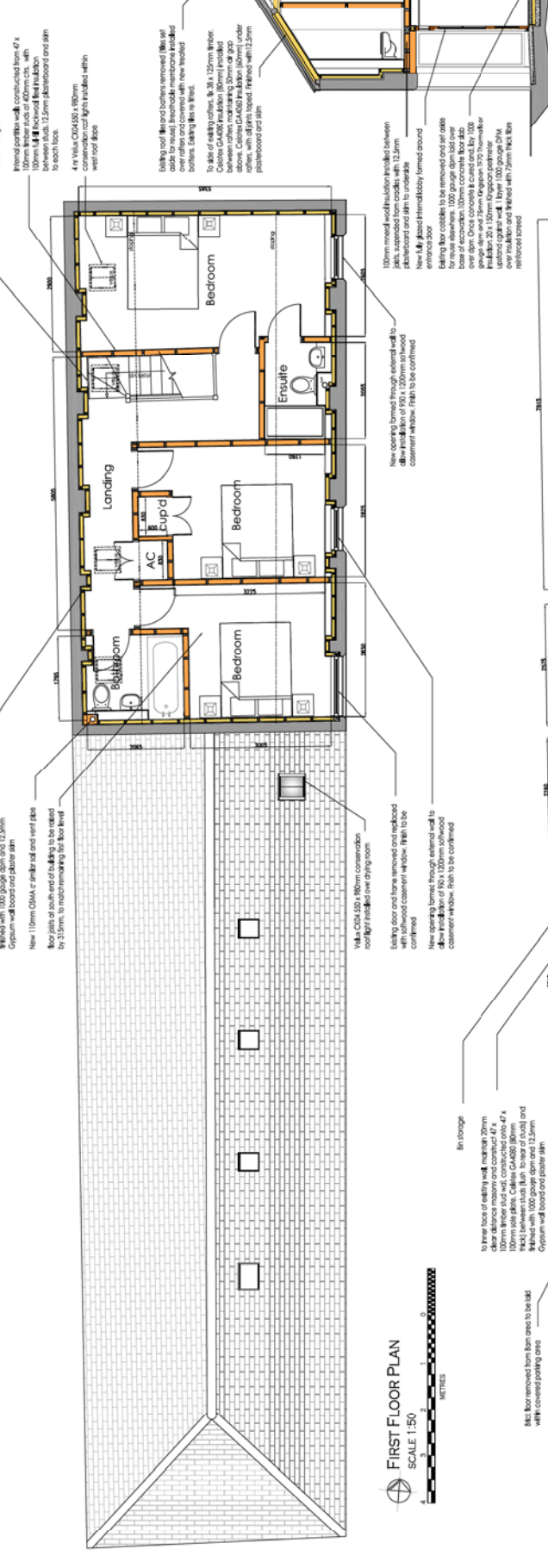
10mm mineral wool insulation (min 100mm) between
 partition and 90mm to underside
 New 10mm OSBMA c/ under and over steel plate
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete

4 x 10mm OSBMA c/ under and over steel plate
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete

10mm mineral wool insulation (min 100mm) between
 partition and 90mm to underside
 New 10mm OSBMA c/ under and over steel plate
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete

4 x 10mm OSBMA c/ under and over steel plate
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete

10mm mineral wool insulation (min 100mm) between
 partition and 90mm to underside
 New 10mm OSBMA c/ under and over steel plate
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete



SECTION A
 SCALE 1:50

FIRST FLOOR PLAN
 SCALE 1:50

GROUND FLOOR PLAN
 SCALE 1:50

proposed staircase installed between existing floor
 joists - 11 steps of 200, 10mm 228 10mm
 clear distance nosing and concrete 42 x
 75mm side sills. Ceiling GA600 (60mm thick)
 between studs flush to top of studs and
 between studs 12.2mm
 Gypsum wall board and plaster skim

All existing floor joists to be rebolted
 by 35mm, to match remaining first floor level

New 10mm OSBMA c/ under and over steel plate
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete

10mm mineral wool insulation (min 100mm) between
 partition and 90mm to underside
 New 10mm OSBMA c/ under and over steel plate
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete

4 x 10mm OSBMA c/ under and over steel plate
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete

10mm mineral wool insulation (min 100mm) between
 partition and 90mm to underside
 New 10mm OSBMA c/ under and over steel plate
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete

4 x 10mm OSBMA c/ under and over steel plate
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete

10mm mineral wool insulation (min 100mm) between
 partition and 90mm to underside
 New 10mm OSBMA c/ under and over steel plate
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete

4 x 10mm OSBMA c/ under and over steel plate
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete

10mm mineral wool insulation (min 100mm) between
 partition and 90mm to underside
 New 10mm OSBMA c/ under and over steel plate
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete

4 x 10mm OSBMA c/ under and over steel plate
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete

10mm mineral wool insulation (min 100mm) between
 partition and 90mm to underside
 New 10mm OSBMA c/ under and over steel plate
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete

4 x 10mm OSBMA c/ under and over steel plate
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete

10mm mineral wool insulation (min 100mm) between
 partition and 90mm to underside
 New 10mm OSBMA c/ under and over steel plate
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete

4 x 10mm OSBMA c/ under and over steel plate
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete

10mm mineral wool insulation (min 100mm) between
 partition and 90mm to underside
 New 10mm OSBMA c/ under and over steel plate
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete

4 x 10mm OSBMA c/ under and over steel plate
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete

| REVISION | NOTES | DATE |
|----------|--------------------------------|------------|
| C | Minor revisions for submission | 03.01.2021 |
| B | Minor revisions | 27.7.2020 |
| A | Final design added | 8.2.2020 |
| 0 | Issue for tender | 21.10.2019 |

| | |
|--|--|
| KEY DENOTES EXISTING MASONRY DENOTES PROPOSED FLOOR FINISHES DENOTES PROPOSED INSULATION DENOTES IMPROVED FLOOR FINISHES DENOTES IMPROVED BLOORWORK DENOTES STRUCTURAL STEELWORK SOLID AND VOID PIPE AT FLOOR LEVEL | |
|--|--|

DRAWING NOTES
 ALL DIMENSIONS TO BE CHECKED ON SITE
 AND NOT SCALED FROM THIS DRAWING
 ANY DIMENSIONS OF ORIENTATIONS
 OF STRUCTURAL ELEMENTS SHOWN ON
 THIS DRAWING ARE FOR INFORMATION
 PURPOSES ONLY - IT DOES NOT
 REPRESENT AN ASSURANCE OF
 DESIGN, UNLESS OTHERWISE STATED

New 100mm or finer underground drainage
 system to be installed in the living area
 to connect new ceiling to existing drainage
 system. Drainage laid at 1:80 gradient on pipe
 ground level and around

Existing door and frame removed and rebolted
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete

The ventilation ducts are to be retained. Internally,
 the ducts are to be insulated with mineral
 wool. The ducts are to be supported by
 clips, approximately 40mm deep forming
 internal face of each vent duct. To
 ensure the ducts are supported, the ducts
 are to be supported by clips, and
 clips are to be supported by clips, and
 clips are to be supported by clips.

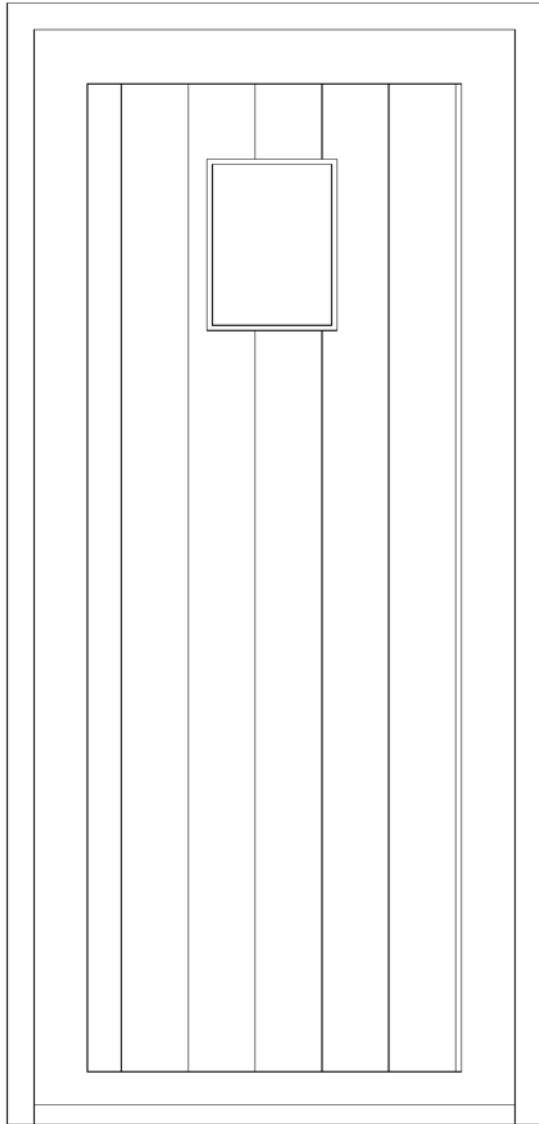
New party wall constructed with beam to
 separate covering area. Exposed wall within
 covered parking area to be finished with
 reinforced red facing bricks to match existing
 brickwork wall removed and back set code for
 reuse. To form opening for vehicle parking. This
 opening is to be supported by a
 steel beam on a support beam

4 x 10mm OSBMA c/ under and over steel plate
 over door. Once concrete is cured and for 100
 days. 20 x 150mm Gypsum plaster
 upstand against wall. 1 layer 1000 gough DPM
 waterproofing and 10mm reinforced concrete
 reinforced concrete

MANOR FARM, WORMINGTON, WORCS

PROPOSED CONVERSION

DOOR JOINERY



EXTERNAL ELEVATION
SCALE 1:5

100 x 60MM FRAME

50 x 125MM TOP RAIL TO DOOR

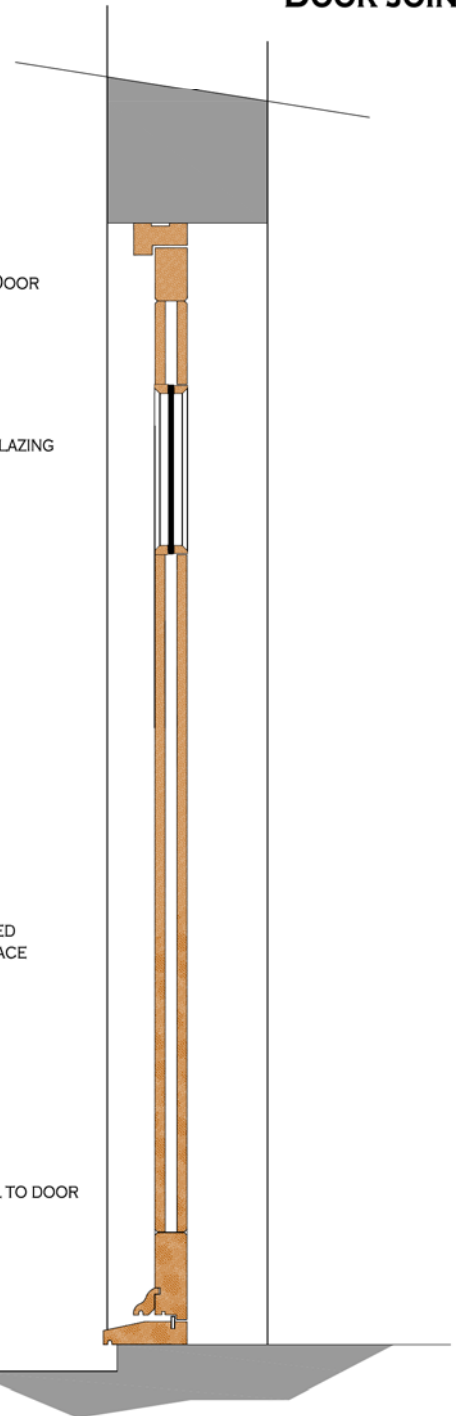
CONSERVATION DOUBLE GLAZING

120 x 20MM T&G V-JOINTED
BOARDING TO EXTERNAL FACE

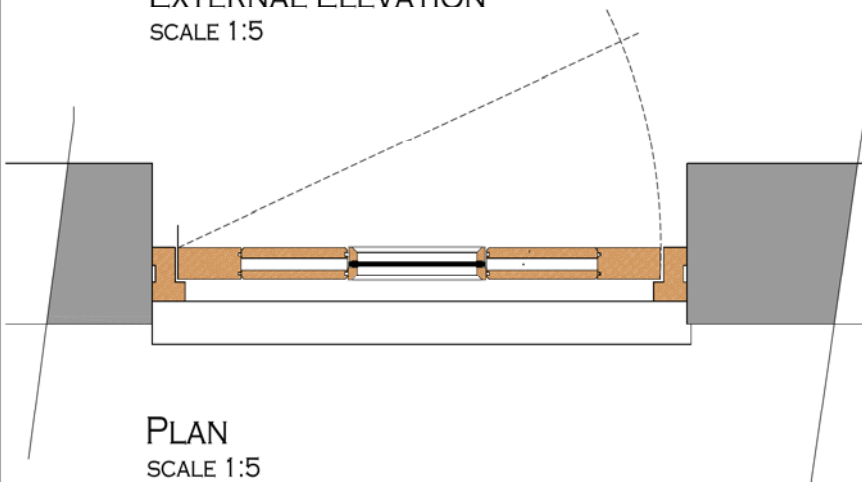
50 x 150MM BOTTOM RAIL TO DOOR

WEATHERBOARD

CILL



SECTION
SCALE 1:5



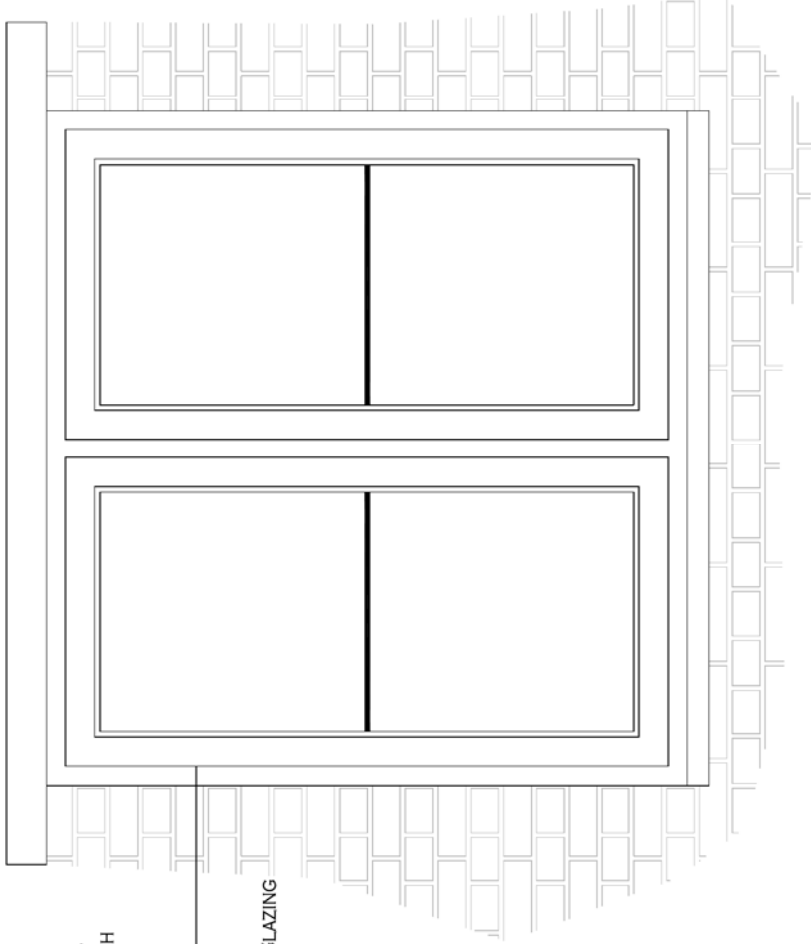
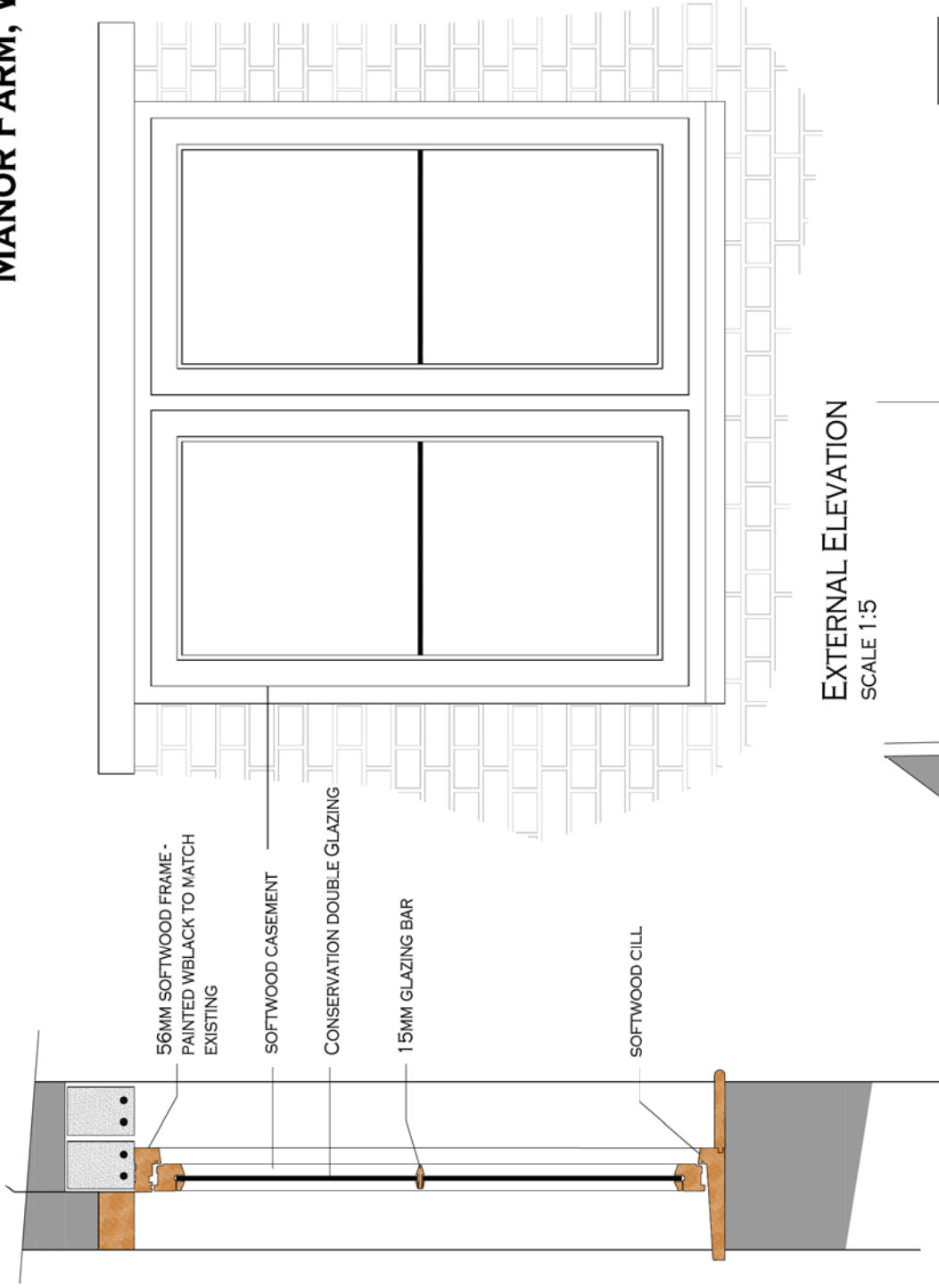
PLAN
SCALE 1:5

| | | |
|---|------------------------|---------------------|
| 0 | FIRST ISSUE | 7.1.2020 |
| REVISION | NOTES | DATE |
| CLIENT: A Russell and Son | | |
| PROJECT: Manor Farm Wormington Worcestershire WR12 7NL | | |
| DRAWING: Proposed Details - Door Joinery | | |
|  CONSTRUCTION SERVICES 4 KINGSLEY ROAD BRIDGECOMBE CHELSEA GLoucestershire GL54 5JL +44 (0) 1753 200650 Email: info@upconstruct.co.uk | | |
| DRAWN BY: LIP | DATE: Jan 2020 | APPROVED BY: LIP |
| SCALE: AS STATED - A1 | PROJECT: MF.W.JN.05 | REVISION: 0 |

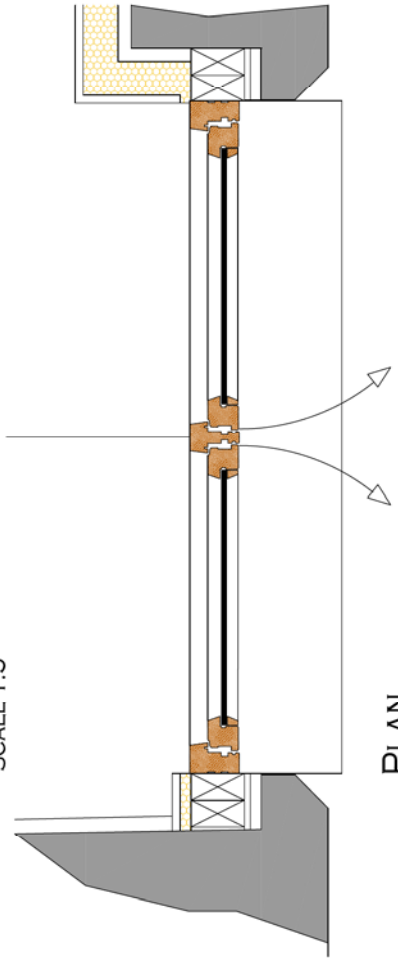
MANOR FARM, WORMINGTON, WORCS

PROPOSED CONVERSION

WINDOW JOINERY 1 OF 3



EXTERNAL ELEVATION
SCALE 1:5



PLAN
SCALE 1:5

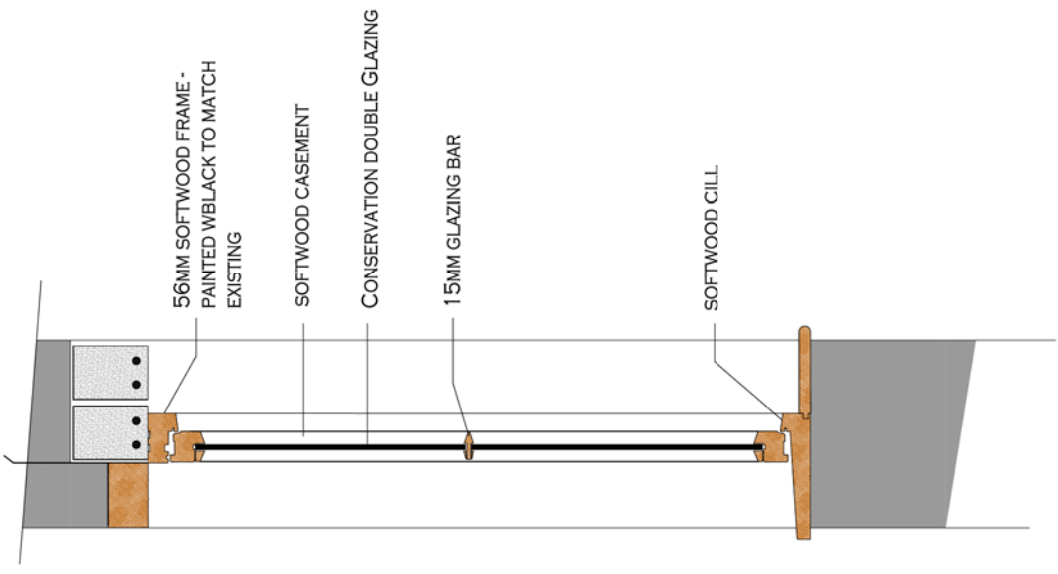
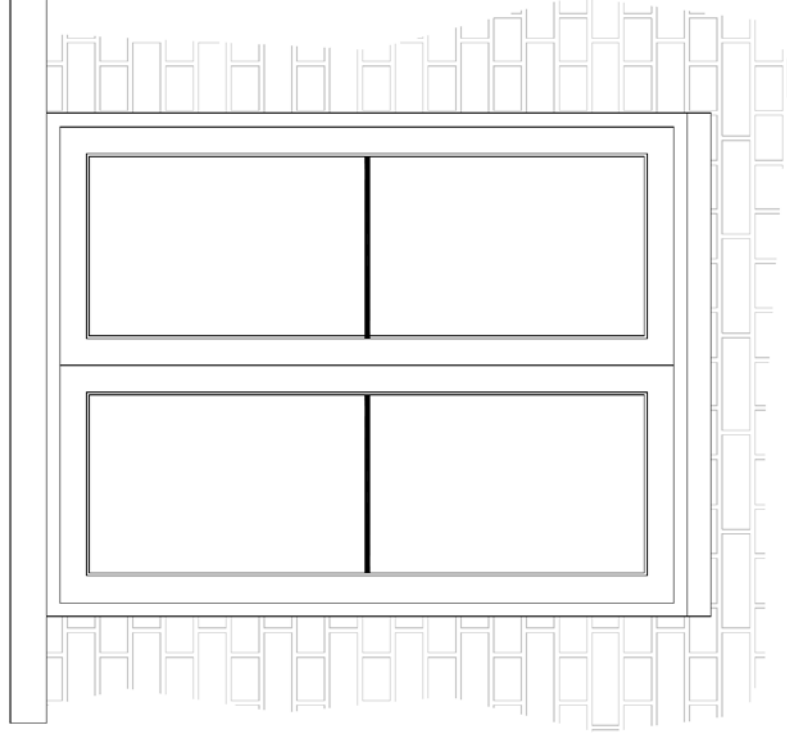
SECTION
SCALE 1:5

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| 0 | PRINT ISSUE | 7.1.2020 | DATE |
| | REVISION | NOTES | |
| | CLIENT | A. Russell and Son | |
| | PROJECT | Manor Farm Wormington Worcestershire WR12 7NL | |
| | DRAWING | Proposed Detail - Window Joinery | |
| CONSTRUCTION SERVICES 1 AVONDALE FARM 200A WORMINGTON WORCESTERSHIRE WR12 7NL 01452 787820/0055 EMAIL: INFO@DPCONSTRUCT.CO.UK | | | |
| DATE OF LIP | DATE OF LIP | DATE OF LIP | DATE OF LIP |
| DATE AS STATED | DATE AS STATED | DATE AS STATED | DATE AS STATED |
| | | MF.W.JOIN.01 | 0 |
| | | - A1 | |

MANOR FARM, WORMINGTON, WORCS

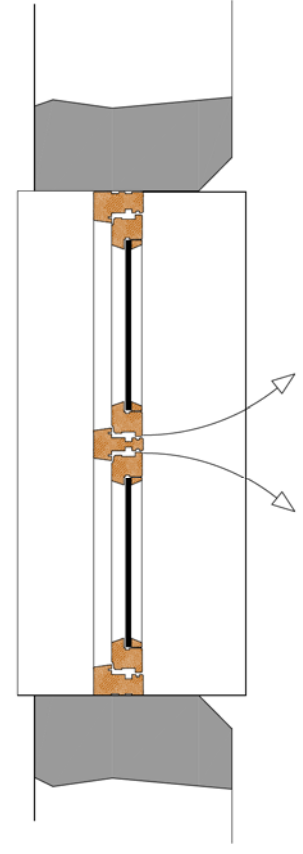
PROPOSED CONVERSION

WINDOW JOINERY 2 OF 3



SECTION
SCALE 1:5

EXTERNAL ELEVATION
SCALE 1:5



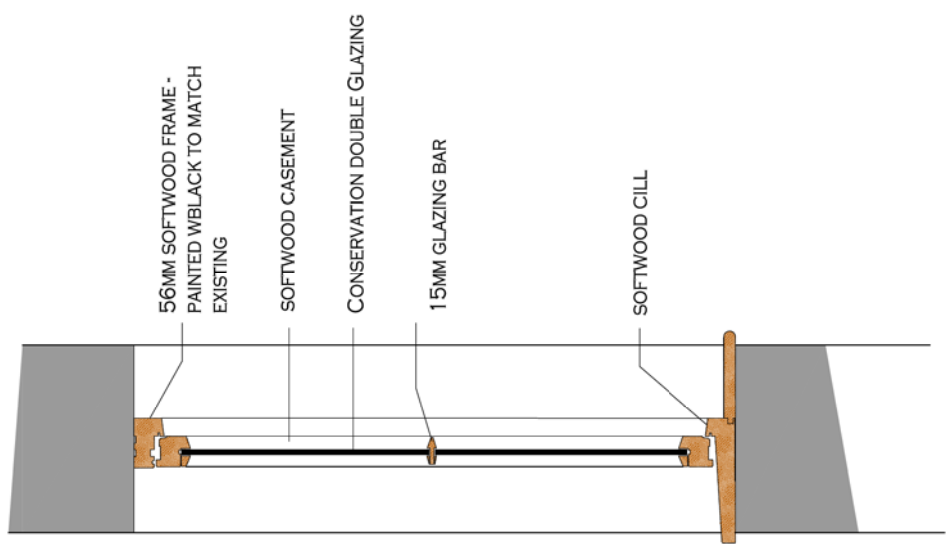
PLAN
SCALE 1:5

| | | | |
|--|-----------------|-------------|-------------|
| 0 | FIRST ISSUE | 7.1.2020 | DATE |
| | REVISION | NOTES | |
| DRAWN: A. Russell and Son PROJECT: Manor Farm Location: Worthington Worcestershire WR12 7NL | | | |
| DRAWING: Proposed Detail - Window Joinery | | | |
| DP CONSTRUCTION SERVICES 1 AVONDALE FARM 200A, WORMINGTON WORCESTERSHIRE, WR12 7NL 01452 787820/0065 Email: info@dpconstruct.co.uk | | | |
| DATE OF LIP | DATE AS STARTED | DATE OF LIP | DATE OF LIP |
| | MF.W.JUN.02 | Jan 2020 | Jan 2020 |
| | - A1 | | 0 |

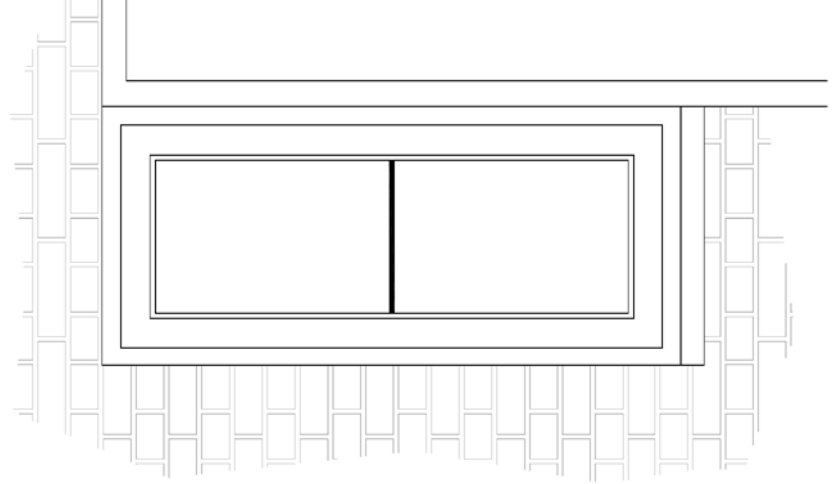
MANOR FARM, WORMINGTON, WORCS

PROPOSED CONVERSION

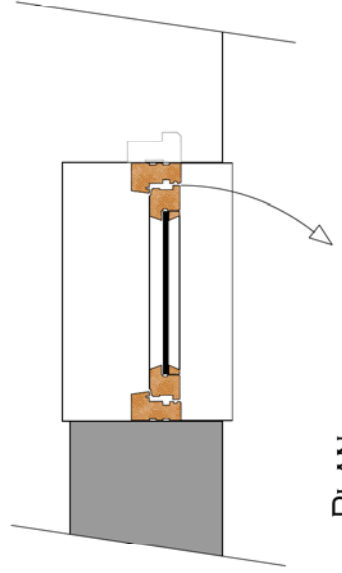
WINDOW JOINERY 3 OF 3



SECTION
SCALE 1:5



EXTERNAL ELEVATION
SCALE 1:5



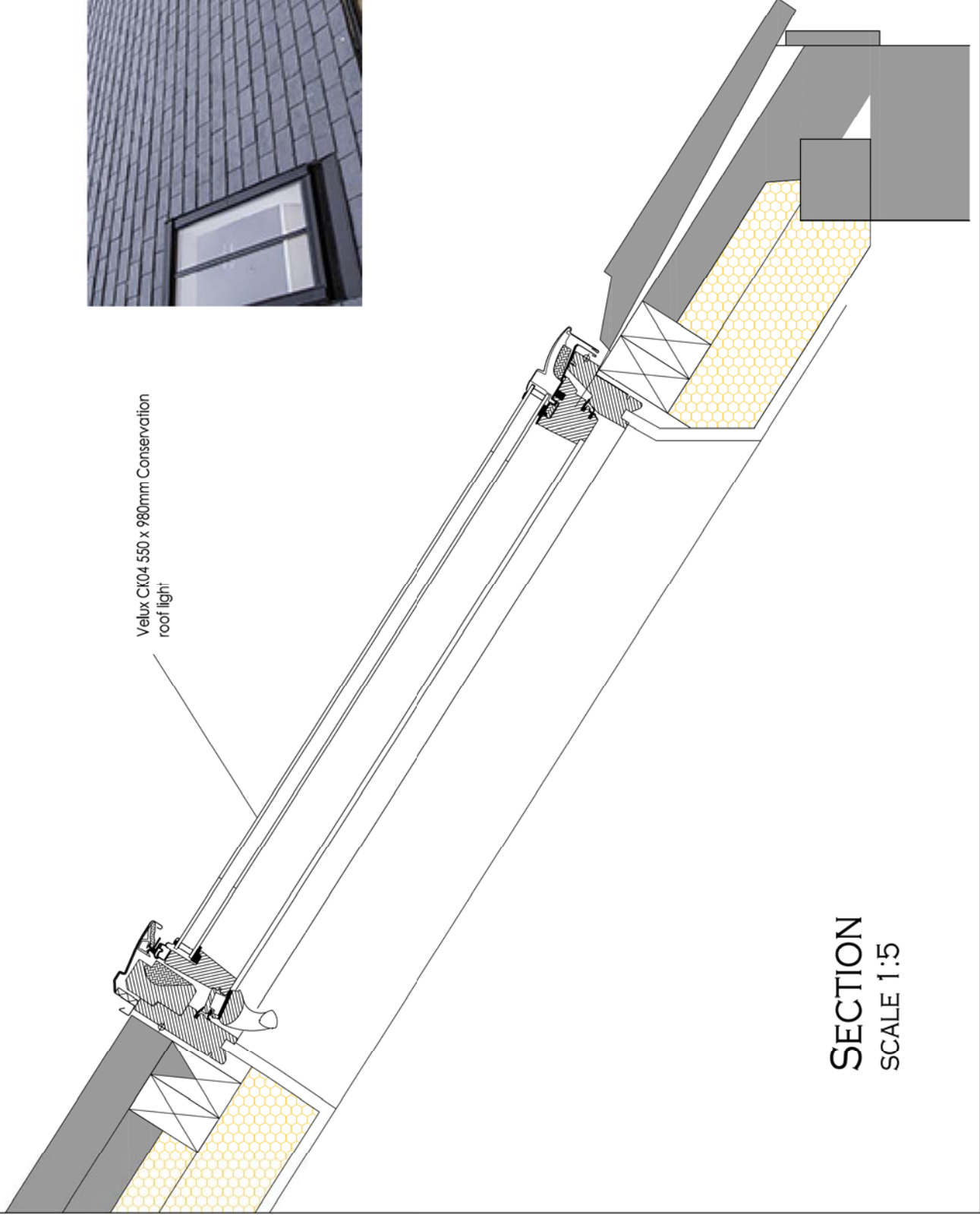
PLAN
SCALE 1:5

| | | | |
|---|-------------|-------------|----------|
| 0 | PRINT ISSUE | 7.1.2020 | DATE |
| | REVISION | NOTES | |
| DRAWN: A. Russell and Son PROJECT: Manor Farm Location: Worthington Worcestershire WR12 7NL | | | |
| DRAWING: Proposed Detail - Window Joinery | | | |
| | | | |
| CONSTRUCTION SERVICES 1 AVONDALE ROAD 200A WORMINGTON WORCESTERSHIRE WR12 7NL +44 (0) 7537 200005 Email: info@dpconstruct.co.uk | | | |
| DATE OF LIP | DATE OF UP | DATE OF REV | REVISION |
| 15 JAN 2020 | 15 JAN 2020 | 15 JAN 2020 | 0 |
| DATE AS SHIPPED | DATE OF LIP | DATE OF REV | REVISION |
| 15 JAN 2020 | 15 JAN 2020 | 15 JAN 2020 | 0 |


MANOR FARM, WORMINGTON, WORCS

PROPOSED CONVERSION

ROOF WINDOW DETAILS



SECTION
SCALE 1:5

| | | |
|--|------------------|------------------|
| 0 | FIRST ISSUE | 7.1.2020 |
| | REVISION | NOTES |
| | DATE | |
| CLIENT: A Russell and Son | | |
| PROJECT: Manor Farm Wormington Worcestershire WR12 7NL | | |
| DRAWING: Proposed Details – Roof window details | | |
|  CONSTRUCTION SERVICES 4 NEWBELL ROSE, 100 WICKHAM, GLOUCESTERSHIRE, GL41 1JU +44(0)1799 000650 EMAIL: INFO@UPCONSTRUCT.CO.UK | | |
| DRAWN BY: LJP | DATE: Jan 2020 | APPROVED BY: LJP |
| DATE: Jan 2020 | DATE: Jan 2020 | DATE: Jan 2020 |
| SCALE: AS STATED | FILE: MF.W.JN.04 | NO. OF SHEETS: 0 |
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